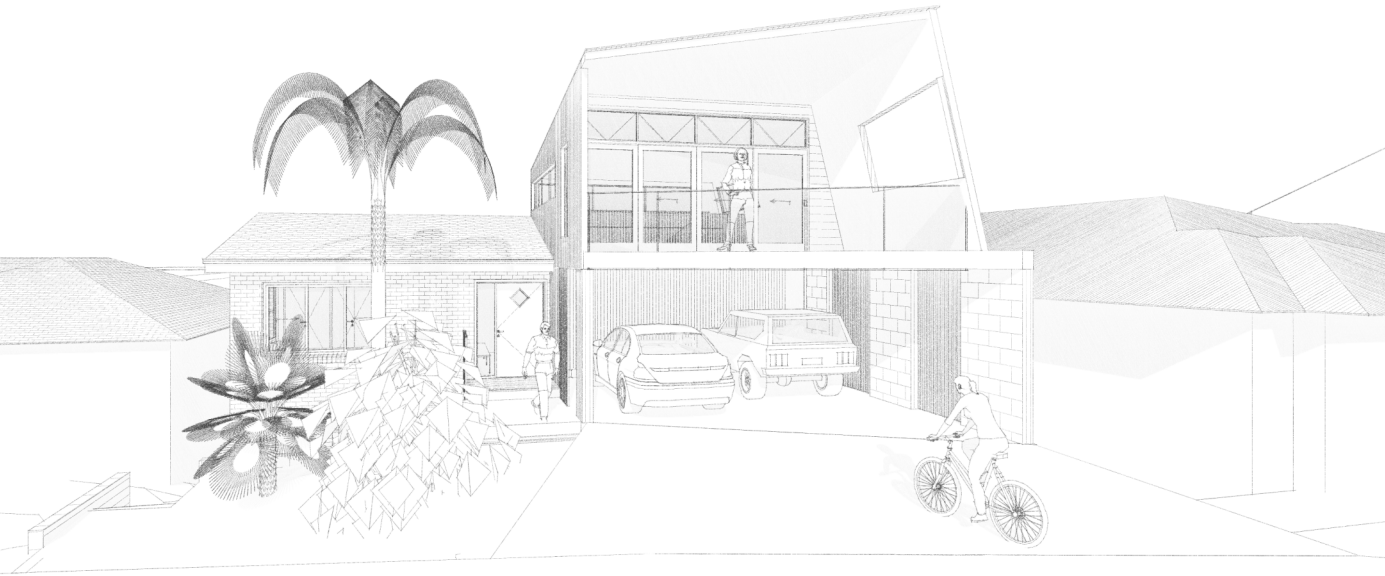


DEVELOPMENT APPLICATION

MARINE DRIVE HOUSE

WORIMI COUNTRY - 2 MARINE DRIVE FORSTER , NSW 2428 LOT 29 | DP17220

DRAWING No.	DESCRIPTION	SCALE	PROJECT AREAS	
			AREA	SQM
DA11	COVER SHEET	1:2000		
DA12	SITE / ROOF PLAN	1:200	1: SUB FLOOR STORE	32.84
DA13	STORMWATER & SEWER PLAN	1:200	2: GROUND FLOOR	135.62
DA14	SHADOW DIAGRAMS	1:400	3: SECOND FLOOR	92.42
DA15	SHADOW DIAGRAMS	1:400	4: DECK	63.14
DA16	BASIX CERTIFICATE		5: MEZZANINE	20.18
DA17	BASIX CERTIFICATE		6: CARPORT	38.73
DA18	EXTERNAL FINISHES		7: EXISTING	128.77
DA21	GROUND FLOOR PLAN	1:100	8: SITE	708.20
DA22	FIRST FLOOR PLAN	1:100		
DA23	MEZZANINE FLOOR PLAN	1:100		
DA24	GROUND FLOOR DEMOLITION PLAN	1:100		
DA25	FIRST FLOOR DEMOLITION PLAN	1:100		
DA31	NORTH ELEVATION	1:100		
DA32	SOUTH ELEVATION	1:100		
DA33	EAST ELEVATION	1:100		
DA34	WEST ELEVATION	1:100		
DA4.1	SECTIONS	1:100		



1 3D VIEW LOOKING SOUTH-WEST

GREAT LAKES COUNCIL DCP 2014 REQUIREMENTS
FORSTER, NSW
ZONE: R2 LOW DENSITY RESIDENTIAL

CONTROL	REQUIREMENT	PROPOSED	COMPLY
SITE AREA		708.2m ²	N/A
SITE DENSITY	1 Dwelling / 450m ²	1	Y
FLOOR SPACE RATIO	0.5:1	0.4:1	Y
5.5.2.1 - FRONT SETBACK	Average of Neighbours	4.48m to exist. front of house 3.80m to proposed mezzanine / deck wall over proposed carport (see drawing DA12).	N - see SOEE
	6m To garage/carport 500mm behind building line	3.79m to carport In line with proposed building line (drawing DA12)	N - see SOEE N - see SOEE
5.5.2.5 SIDE SETBACK	A minimum of 900mm for a building with a maximum wall height of 3.8m If building height is greater than 3.8m: 900mm + (building height over 3.8m/4)	0.97m at carport 0.99m house (existing) (see drawings DA12 & DA3.1)	N - see SOEE
5.5.2.5 REAR SETBACK	A minimum of 3m for a building with a maximum wall height of 3.8m If building height is greater than 3.8m: 900mm + (building height over 3.8m/4)	16.22m at closest point	Y
5.6 BUILDING HEIGHT	8.5m building height	8.80m	N - see SOEE
	5.1m floor height on slopes >1:6	Minor non-compliance with proposed mezzanine and deck.	N - see SOEE
10.3.1.1 CAR PARKING	2 car spaces / dwelling GFA > 125m ² Garage door <50% of overall building width	2 (existing spaces = 1) No garage door - carport	Y N/A



2 LOCATION PLAN
1:2000

notes
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Figured dimensions to be used rather than scaling.
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project partners
structural engineer: TBC

surveyor:
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8 BUNDACREE PLACE, FORSTER NSW 2428 AUSTRALIA
ABN 73947 675 745

drawn by: PS
issue date: 28/04/2025
project no: 23007
project status: Development Application

client: Richard Payne & Rachel Chapman

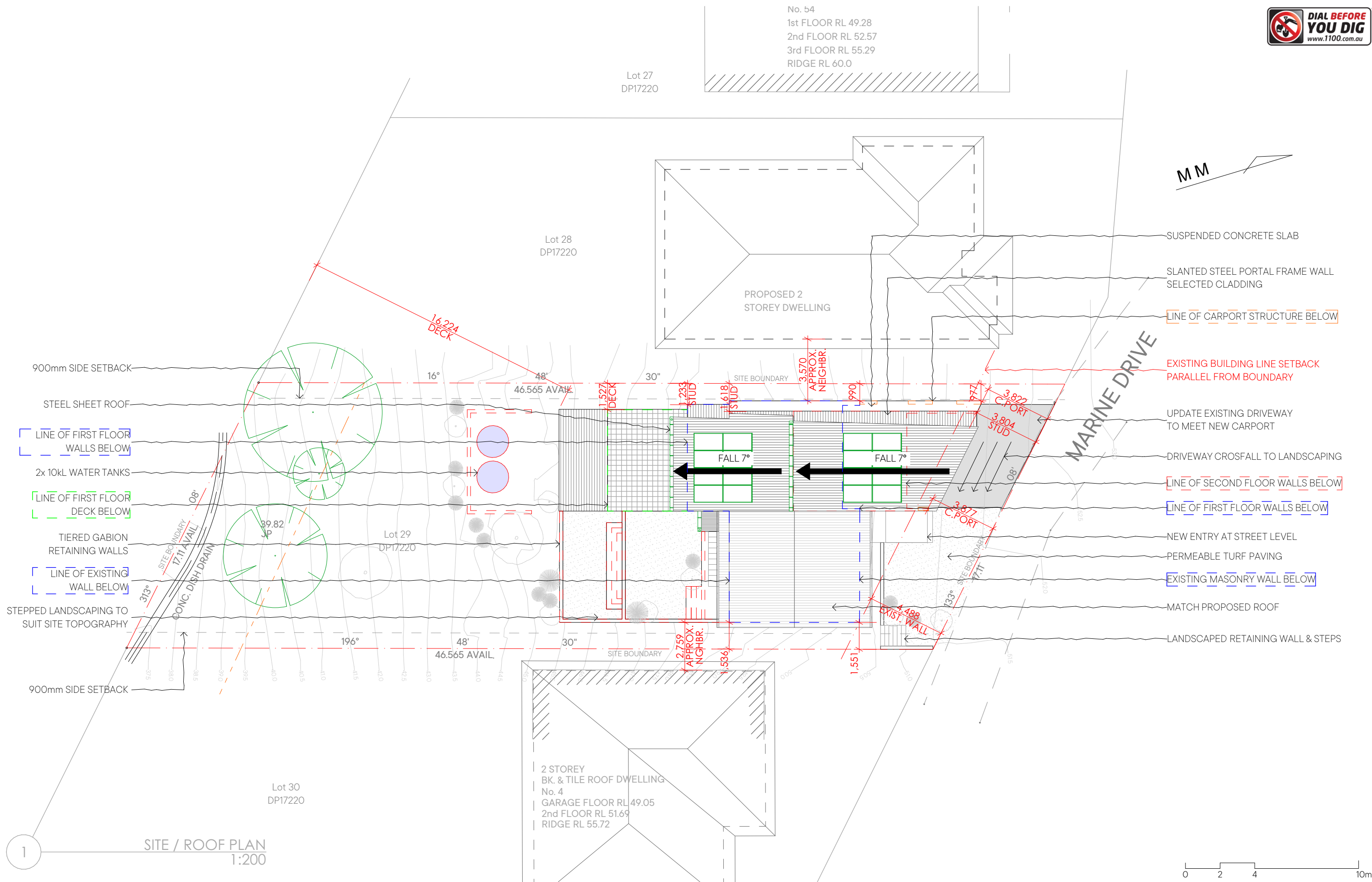
site: Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

drawing title :
COVER SHEET

project :
Marine Drive House

rev no.
DA

drawing no.
DA1.1



notes

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LEGEND

- STORMWATER
- SEWER
- SITE BOUNDARY
- SEWER MAN HOLE
- HYDRANT

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drawn by: PS
issue date: 28/04/2025
project no: 23007
project status: Development Application

Scale: 1:200 @ A3

client: Richard Payne & Rachel Chapman
site: Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

drawing title :
SITE / ROOF PLAN

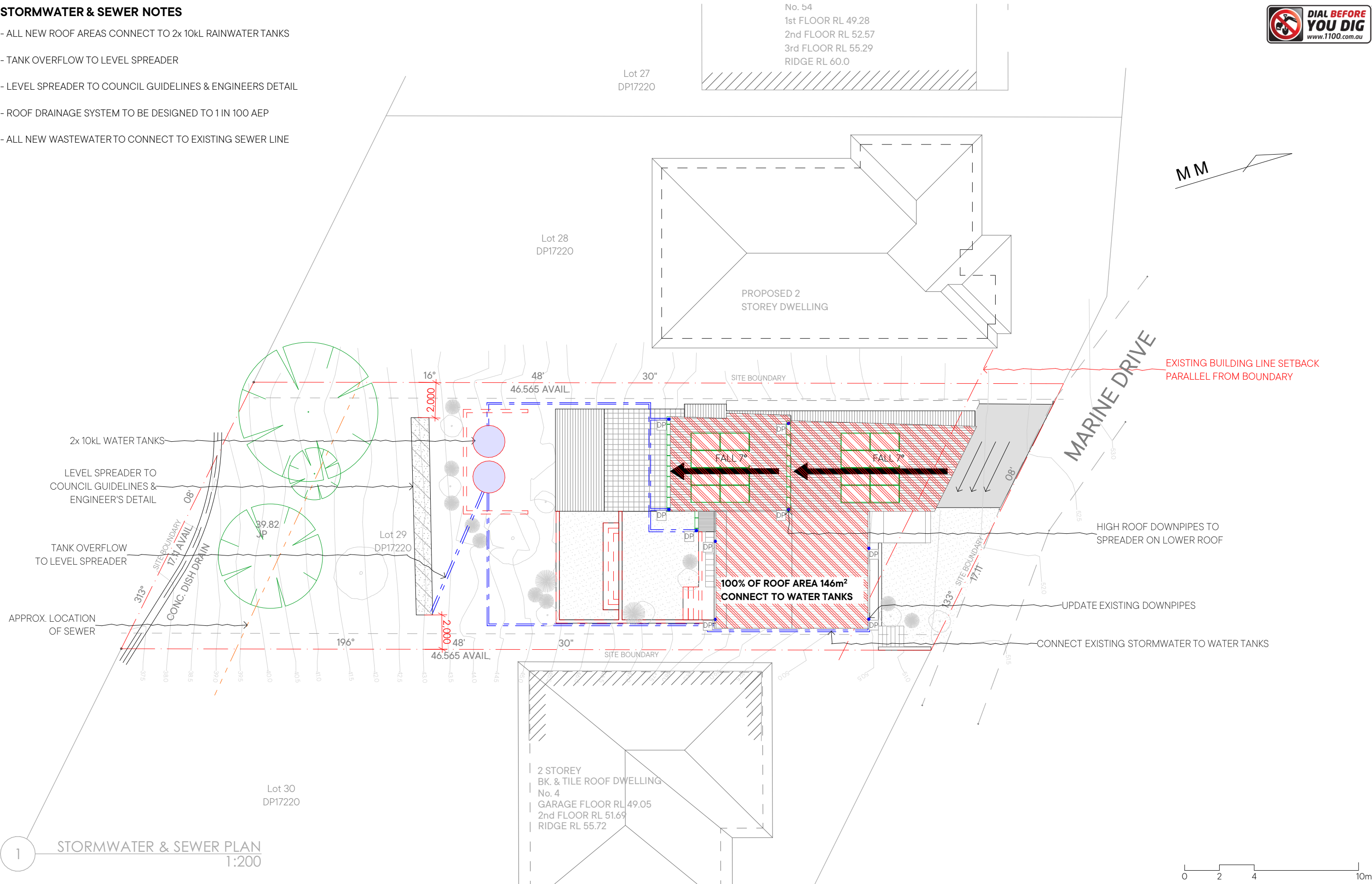
project :
Marine Drive House

rev no:
DA

drawing no:
DA1.2

STORMWATER & SEWER NOTES

- ALL NEW ROOF AREAS CONNECT TO 2x 10kL RAINWATER TANKS
- TANK OVERFLOW TO LEVEL SPREADER
- LEVEL SPREADER TO COUNCIL GUIDELINES & ENGINEERS DETAIL
- ROOF DRAINAGE SYSTEM TO BE DESIGNED TO 1 IN 100 AEP
- ALL NEW WASTEWATER TO CONNECT TO EXISTING SEWER LINE



1 STORMWATER & SEWER PLAN 1:200

notes
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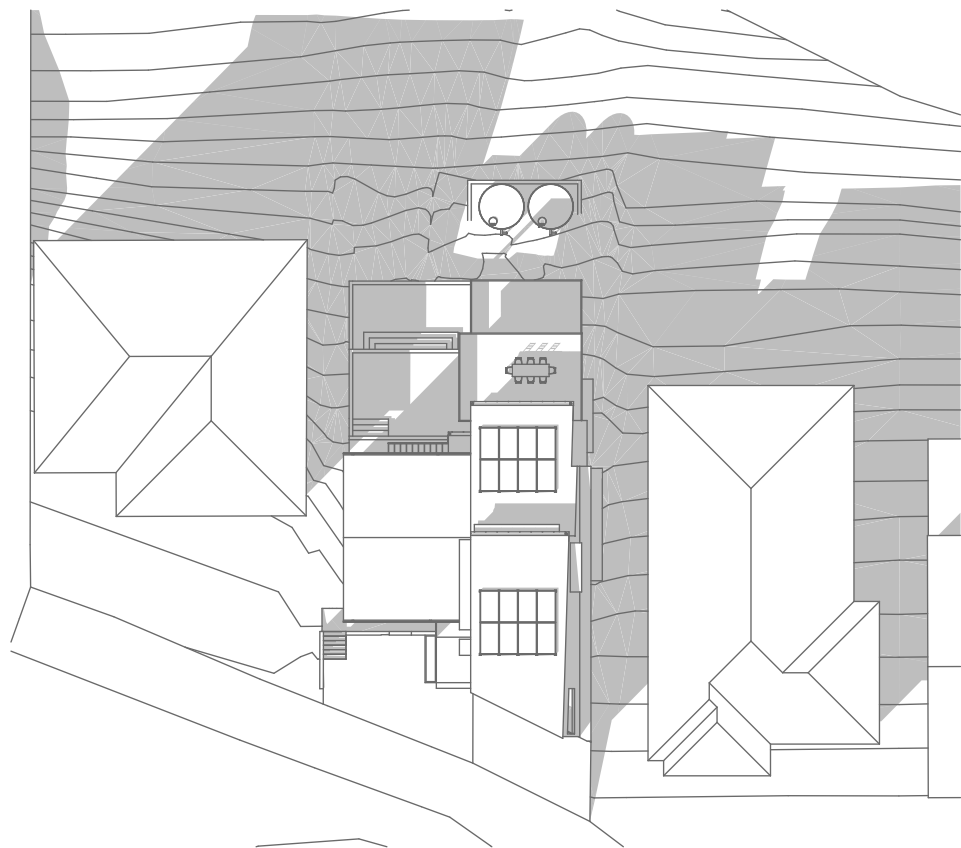
LEGEND
- - - STORMWATER
- - - SEWER
- - - SITE BOUNDARY
SMH SEWER MAN HOLE
HY HYDRANT

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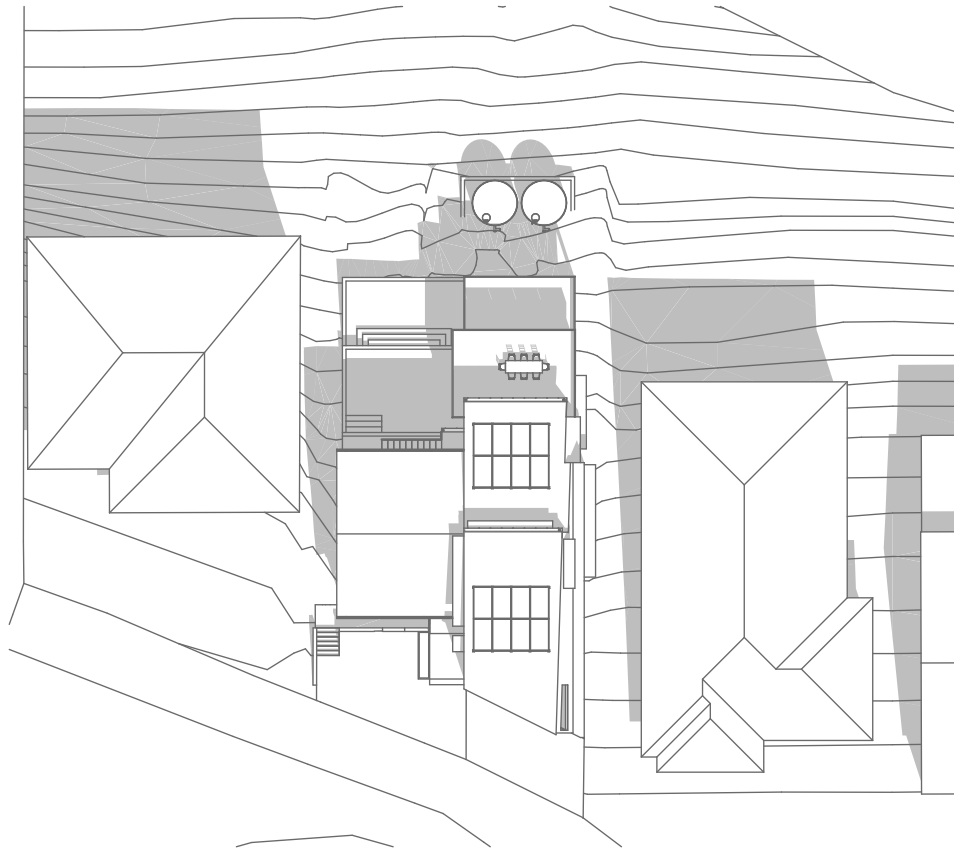
drawn by: PS
issue date: 28/04/2025
project no: 23007
project status: Development Application
client: Richard Payne & Rachel Chapman
site: Lot 29 DP17220
2 Marine Drive
Forster NSW 2428
Scale: 1:200
@ A3

drawing title :
STORMWATER & SEWER PLAN
project :
Marine Drive House

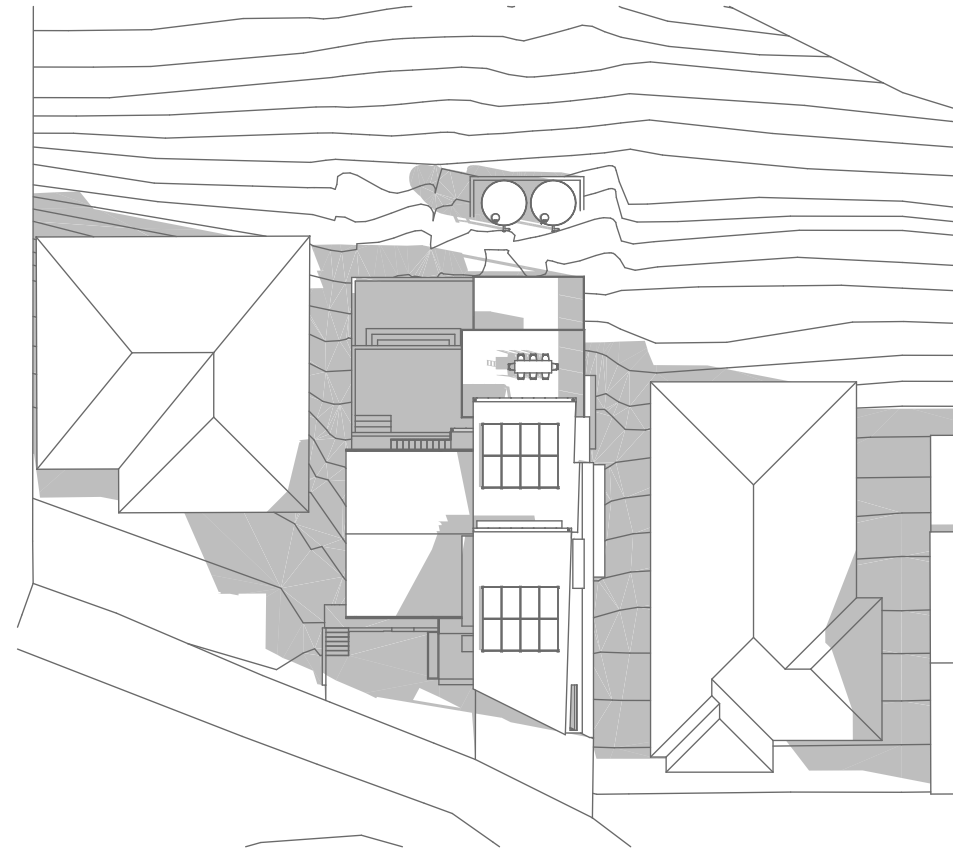
rev no.
DA
drawing no.
DA1.3



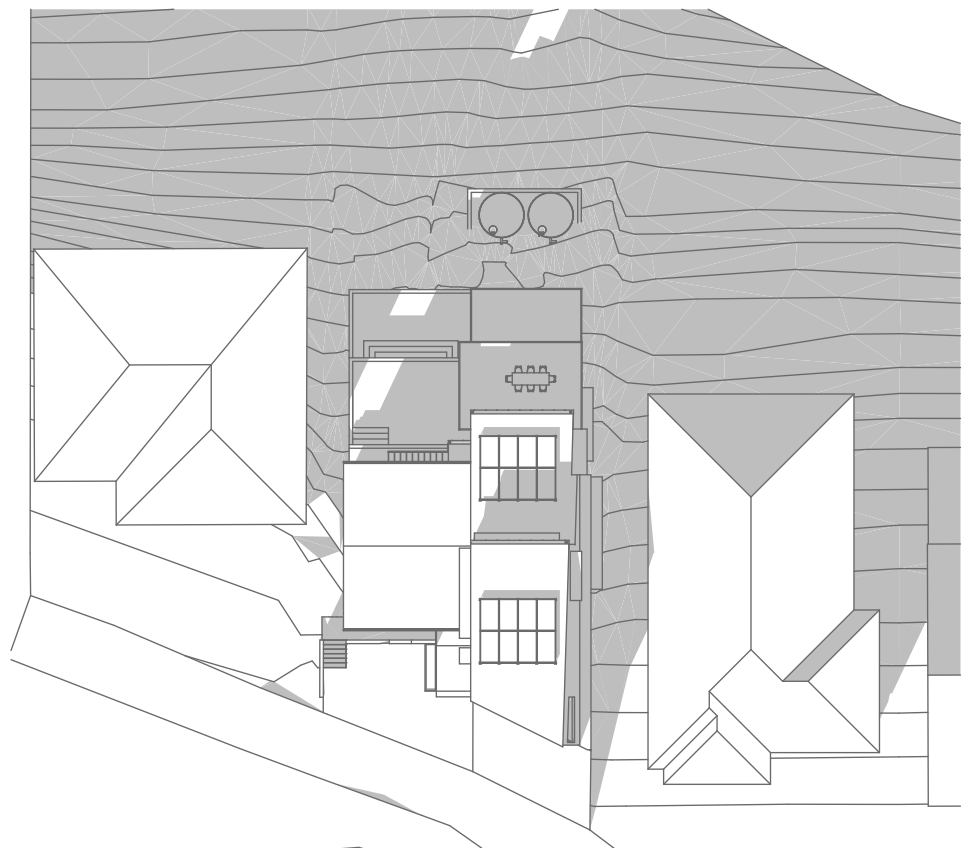
1

SHADOW DIAGRAM MAR 21 0900HRS
1:400

2

SHADOW DIAGRAM MAR 21 1200HRS
1:400

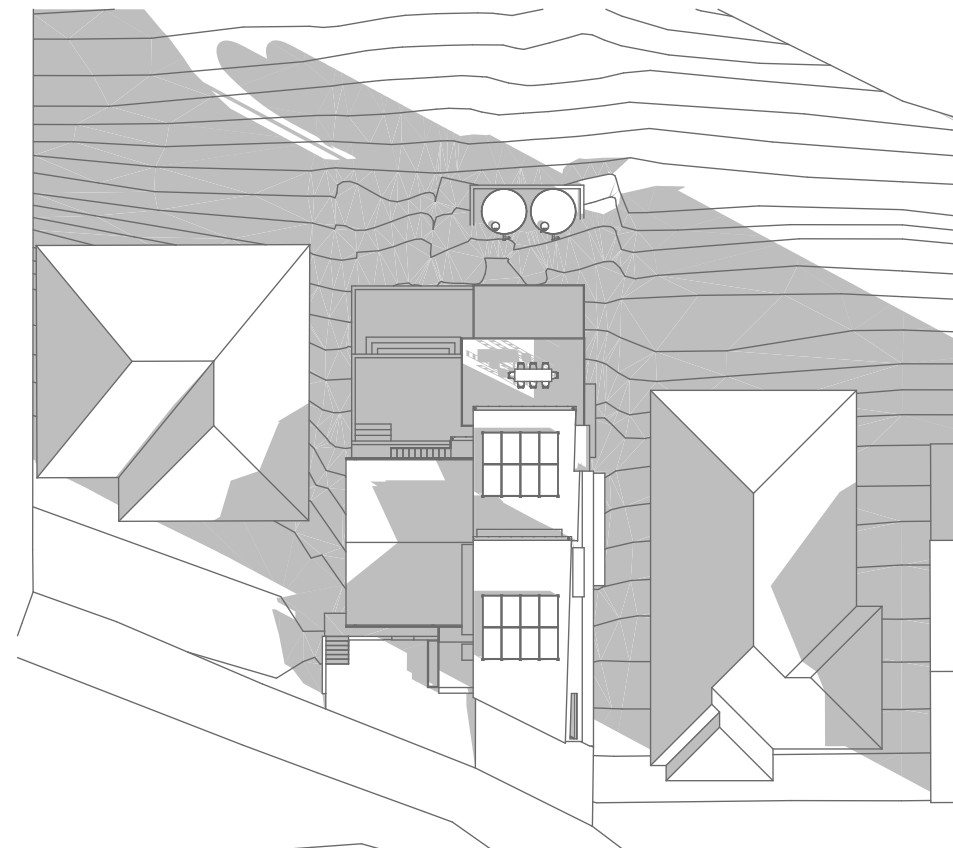
3

SHADOW DIAGRAM MAR 21 1500HRS
1:400

4

SHADOW DIAGRAM JUN 21 0900HRS
1:400

5

SHADOW DIAGRAM JUN 21 1200HRS
1:400

6

SHADOW DIAGRAM JUN 21 1500HRS
1:400

notes

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client: Richard Payne & Rachel Chapman
site: Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

Scale: 1:400
@ A3

drawing title :

SHADOW DIAGRAMS

project :

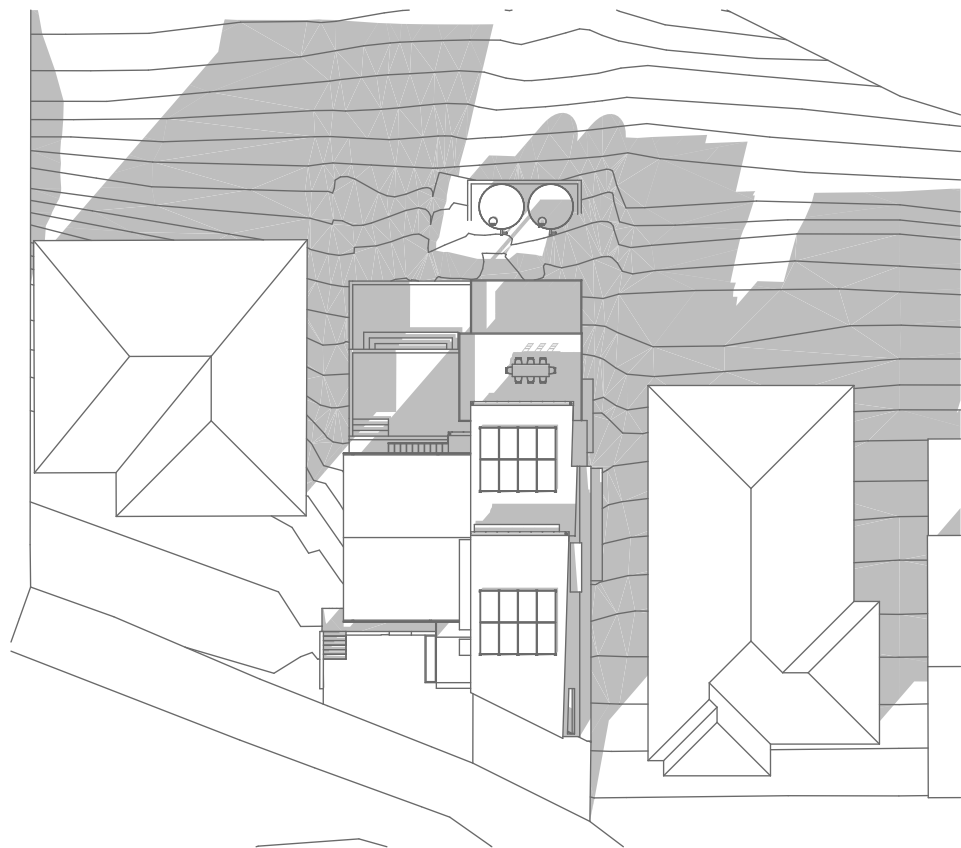
Marine Drive House

rev no.

DA

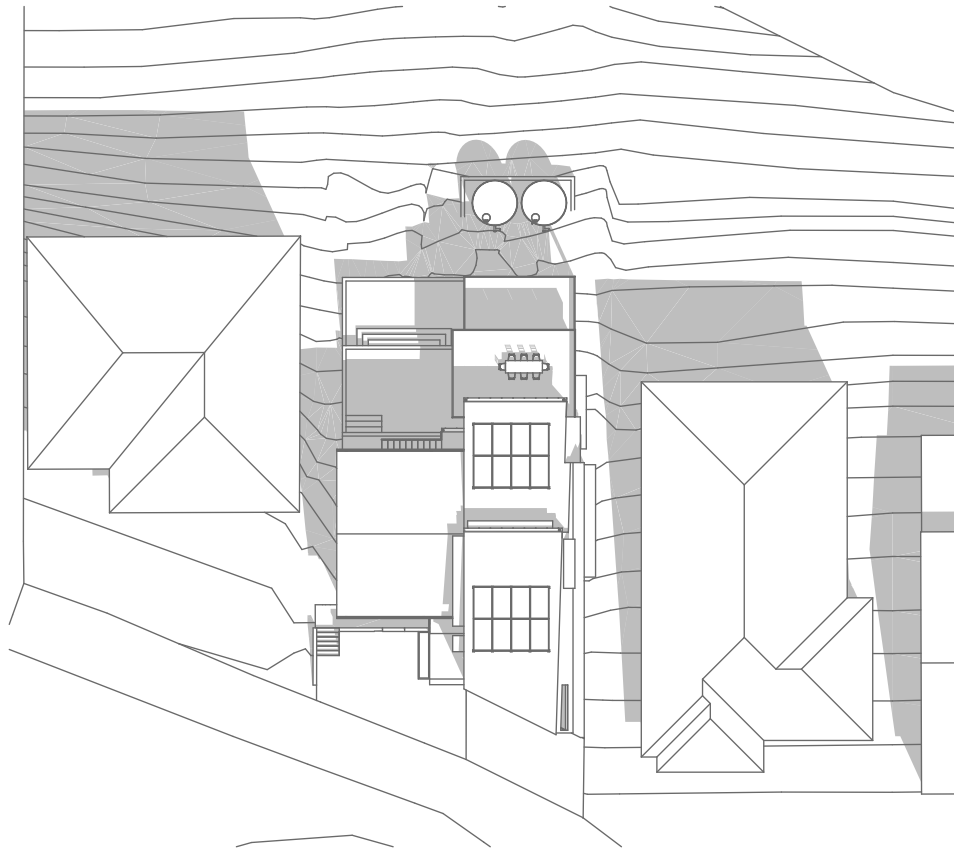
drawing no.

DA1.4



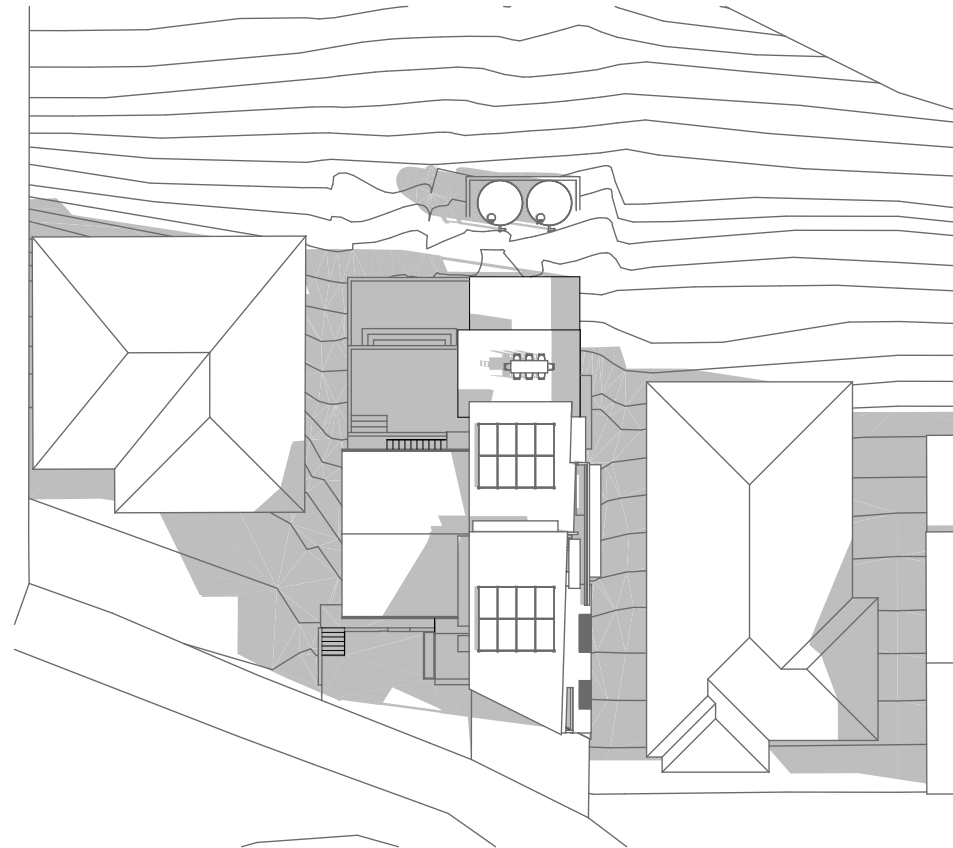
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SHADOW DIAGRAM SEP 21 0900HRS
1:400



2

SHADOW DIAGRAM SEP 21 1200HRS
1:400



3

SHADOW DIAGRAM SEP 21 1500HRS
1:400

notes

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ABN 73947 675 745

drawn by:	PS	Scale: 1:400
issue date:	28/04/2025	
project no:	23007	@ A3
project status:	Development Application	
client:	Richard Payne & Rachel Chapman	
site:	Lot 29 DP17220 2 Marine Drive Forster NSW 2428	

drawing title :

SHADOW DIAGRAMS

project :

Marine Drive House

rev no.

DA

drawing no.

DA1.5

BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Alterations and Additions

Certificate number: A1765025_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Monday, 28 April 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.

Project address	
Project name	Marine Drive House_02
Street address	2 MARINE Drive FORSTER 2428
Local Government Area	Mid-Coast Council
Plan type and number	Deposited Plan DP17220
Lot number	29
Section number	-
Project type	
Dwelling type	Dwelling house (attached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: PATRICK SUGDEN	
ABN (if applicable): 73947675745	

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																								
Hot water																											
The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).	✔	✔	✔																								
Lighting																											
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔																								
Fixtures																											
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✔	✔																								
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✔	✔																								
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✔																									
Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																								
Insulation requirements																											
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✔	✔	✔																								
<table><tr><th>Construction</th><th>Additional insulation required (R-value)</th><th>Other specifications</th></tr><tr><td>concrete slab on ground floor.</td><td>nil</td><td>N/A</td></tr><tr><td>suspended floor with enclosed subfloor: concrete (R0.6).</td><td>R0.70 (down) (or R1.30 including construction)</td><td>N/A</td></tr><tr><td>suspended floor above garage: concrete (R0.6).</td><td>nil</td><td>N/A</td></tr><tr><td>floor above existing dwelling or building.</td><td>nil</td><td>N/A</td></tr><tr><td>external wall: concrete block/ plasterboard</td><td>R1.18 (or R1.70 including construction)</td><td></td></tr><tr><td>external wall: framed (weatherboard, fibro, metal clad)</td><td>R1.30 (or R1.70 including construction)</td><td></td></tr><tr><td>raked ceiling, pitched/skillion roof: framed</td><td>ceiling: R2.24 (up), roof: foil backed blanket (55 mm)</td><td>medium (solar absorptance 0.475 - 0.70)</td></tr></table>				Construction	Additional insulation required (R-value)	Other specifications	concrete slab on ground floor.	nil	N/A	suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A	suspended floor above garage: concrete (R0.6).	nil	N/A	floor above existing dwelling or building.	nil	N/A	external wall: concrete block/ plasterboard	R1.18 (or R1.70 including construction)		external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)
Construction	Additional insulation required (R-value)	Other specifications																									
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suspended floor above garage: concrete (R0.6).	nil	N/A																									
floor above existing dwelling or building.	nil	N/A																									
external wall: concrete block/ plasterboard	R1.18 (or R1.70 including construction)																										
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raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)																									
Glazing requirements																											
Windows and glazed doors																											
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✔	✔	✔																								
The following requirements must also be satisfied in relation to each window and glazed door:		✔	✔																								
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✔	✔																								
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✔	✔																								
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✔	✔	✔																								
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✔	✔																								
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✔	✔																								
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✔	✔	✔																								

notes
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SGDN | design

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issue date:
project no:
project status:

client:
site:

PS
28/04/2025
23007
Development Application

Richard Payne & Rachel Chapman

Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

Scale:
@ A3

drawing title :
BASIX CERTIFICATE




project :
Marine Drive House

rev no.
DA

drawing no.
DA1.6

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
204D	N	0.95	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
303D	N	9.91	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
304W	N	2.83	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
107W	E	2.88	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
108W	E	2.4	2.4	2.8	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
109D	E	3.15	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
110W	E	2.64	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
305W	E	1.53	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
306W	E	1.3	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
307W	E	1.94	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
101D	S	8.82	0	0	eave/ verandah/ pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
201W	S	2.43	0	0	eave/ verandah/ pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
202D	S	6	0	0	eave/ verandah/ pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
301W	S	3.15	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
102W	W	1.44	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			

Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
103W	W	1.28	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
104W	W	0.96	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
105W	W	2.25	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
106W	W	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
203W	W	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
302W	W	1.95	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

notes

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drawn by: PS
issue date: 28/04/2025
project no: 23007
project status: Development Application

Scale: @ A3

client: Richard Payne & Rachel Chapman

site: Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

drawing title :

BASIX CERTIFICATE

project :

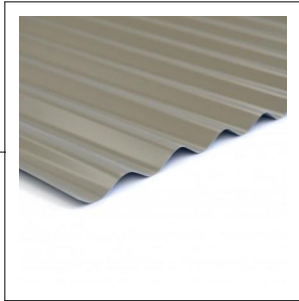
Marine Drive House

rev no.

DA

drawing no.

DA1.7



CUSTOMORB COLORBOND ROOF
SHEET IN WOODLAND GREY



STANDING SEAM STEEL
WALL CLADDING



HARDWOOD TIMBER SCREEN



SUSPENDED OFF-FORM CONCRETE



RENDER EXISTING BRICK

1

3D VIEW LOOKING SOUTH WEST

notes

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drawn by: PS
issue date: 28/04/2025
project no: 23007
project status: Development Application
client: Richard Payne & Rachel Chapman
site: Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

Scale:
@ A3

drawing title :

EXTERNAL FINISHES

project :

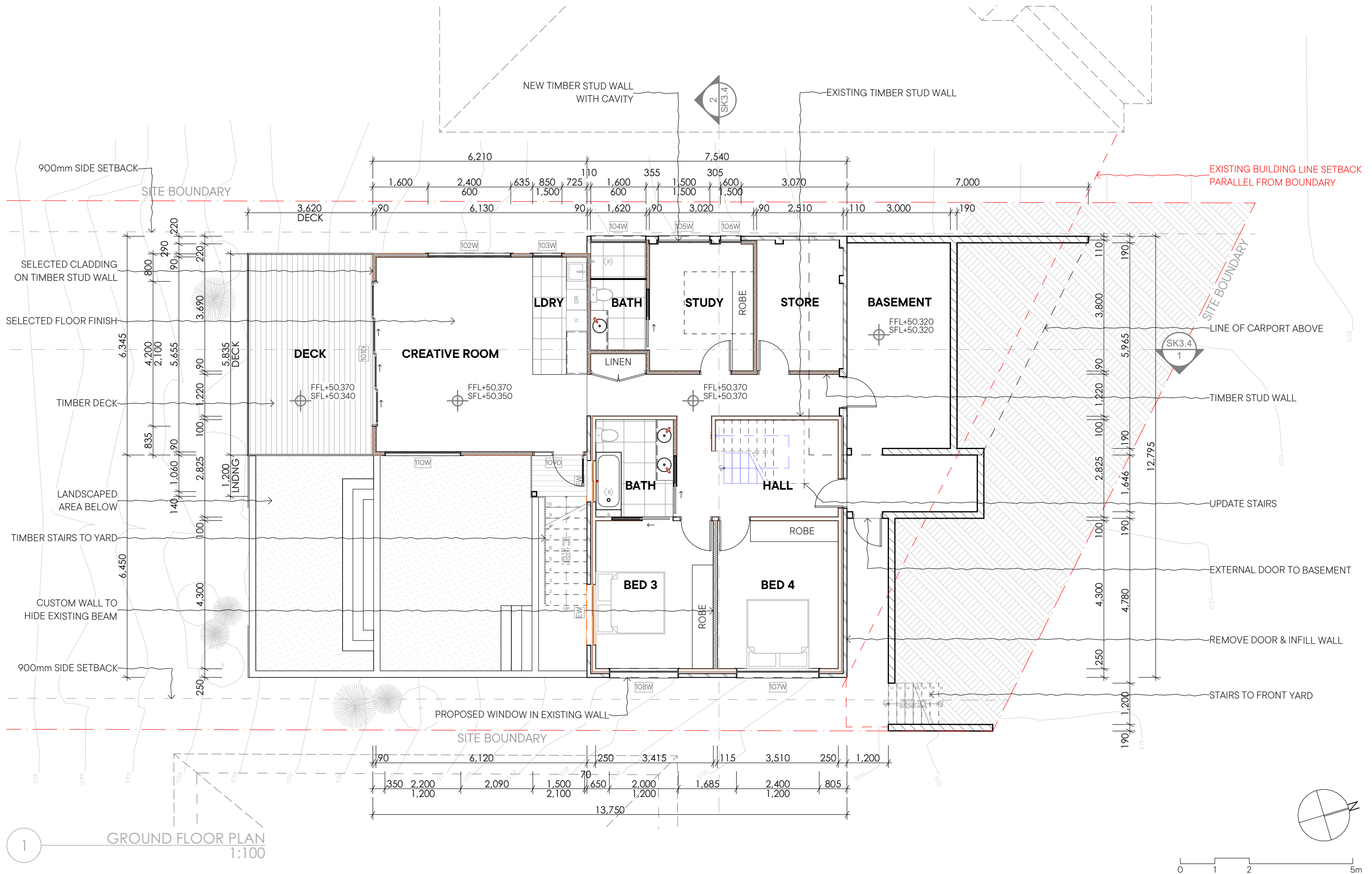
Marine Drive House

rev no.

DA

drawing no.

DA1.8



1 GROUND FLOOR PLAN
1:100

notes
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drawn by:
issue date: PS
28/04/2025
project no: 23007
project status: Development Application

client: Richard Payne & Rachel Chapman

site: Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

drawing title:
GROUND FLOOR PLAN

project:
Marine Drive House

rev no:
DA

drawing no:
DA2.1



project partners

structural engineer: TBC

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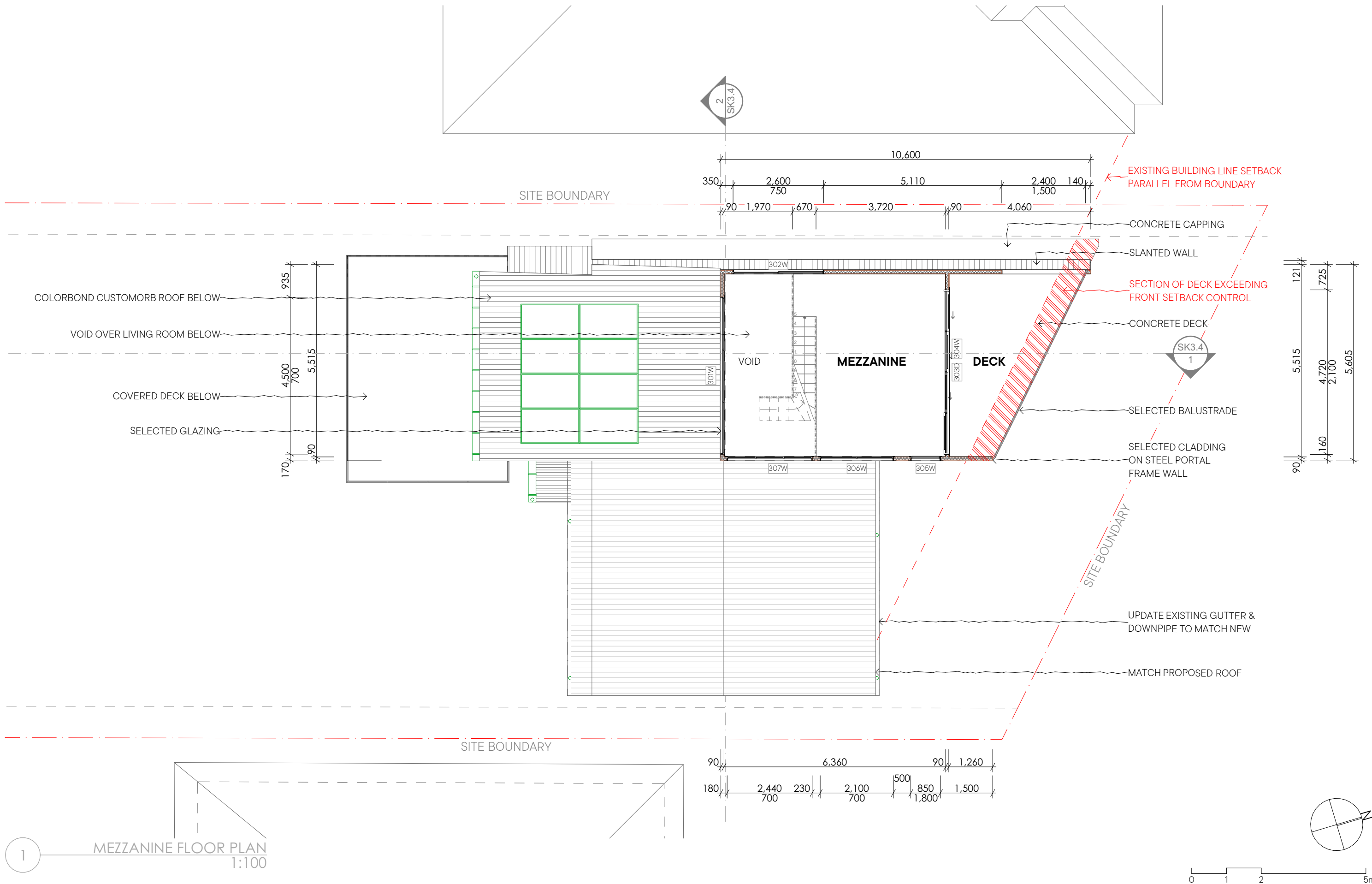
8 BUNDACREE PLACE, FORSTER NSW 2428 AUSTRALIA
ABN: 73947 675 745

drawing title :
FIRST FLOOR PLAN

project :
Marine Drive House

rev no.
DA

drawing no.
DA2.2



notes
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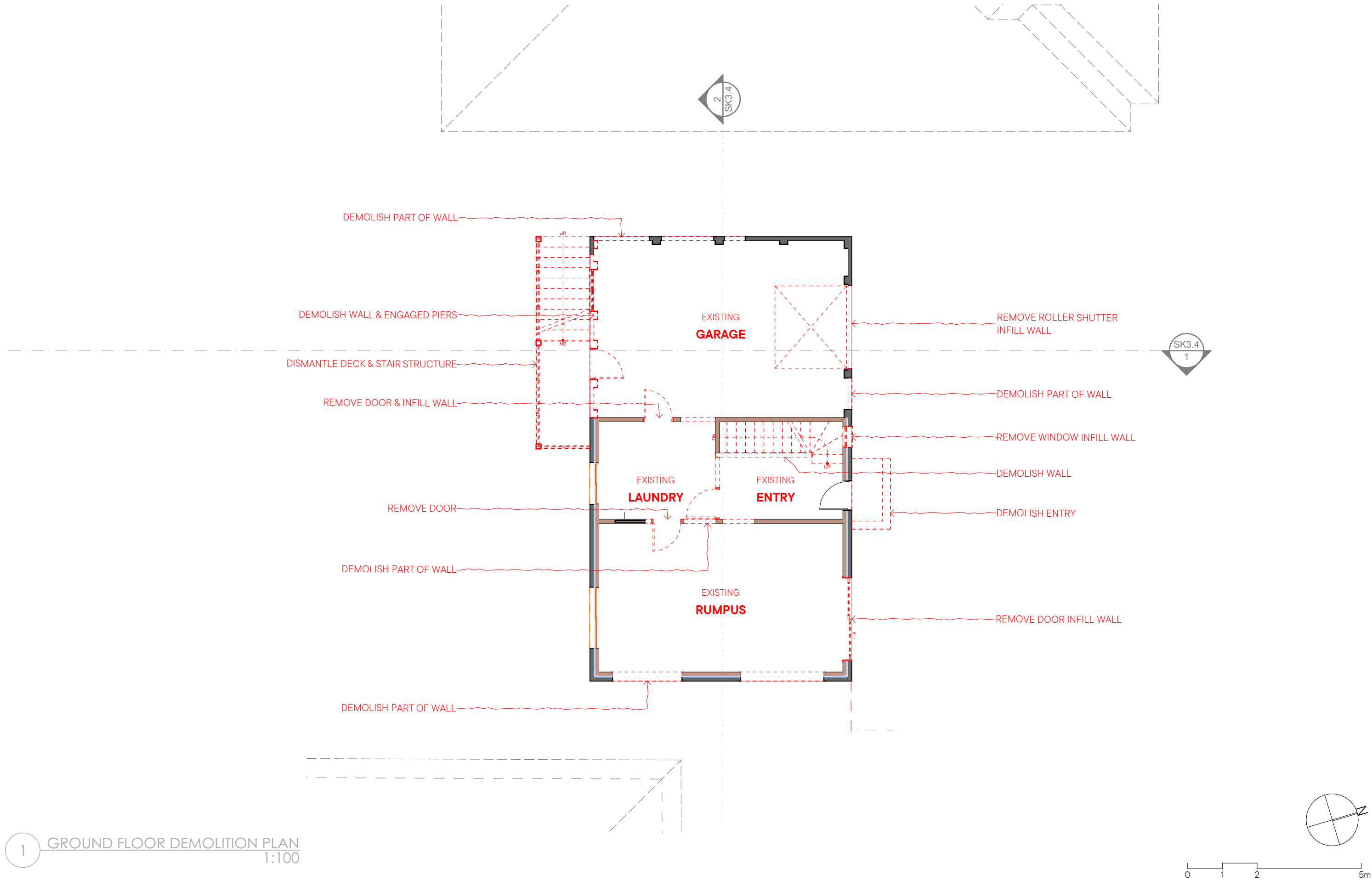
project partners
structural engineer: TBC
surveyor:
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drawn by:
issue date:
project no:
project status:
client:
site:
PS
28/04/2025
23007
Development Application
Richard Payne & Rachel Chapman
Lot 29 DP17220
2 Marine Drive
Forster NSW 2428
Scale: 1:100
@ A3

drawing title:
MEZZANINE FLOOR PLAN
project:
Marine Drive House

rev no.
DA
drawing no.
DA2.3



1 GROUND FLOOR DEMOLITION PLAN
1:100

notes
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structural engineer: TBC

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ABN 73947 675 745

drawn by: PS
issue date: 28/04/2025
project no: 23007
project status: Development Application

client: Richard Payne & Rachel Chapman

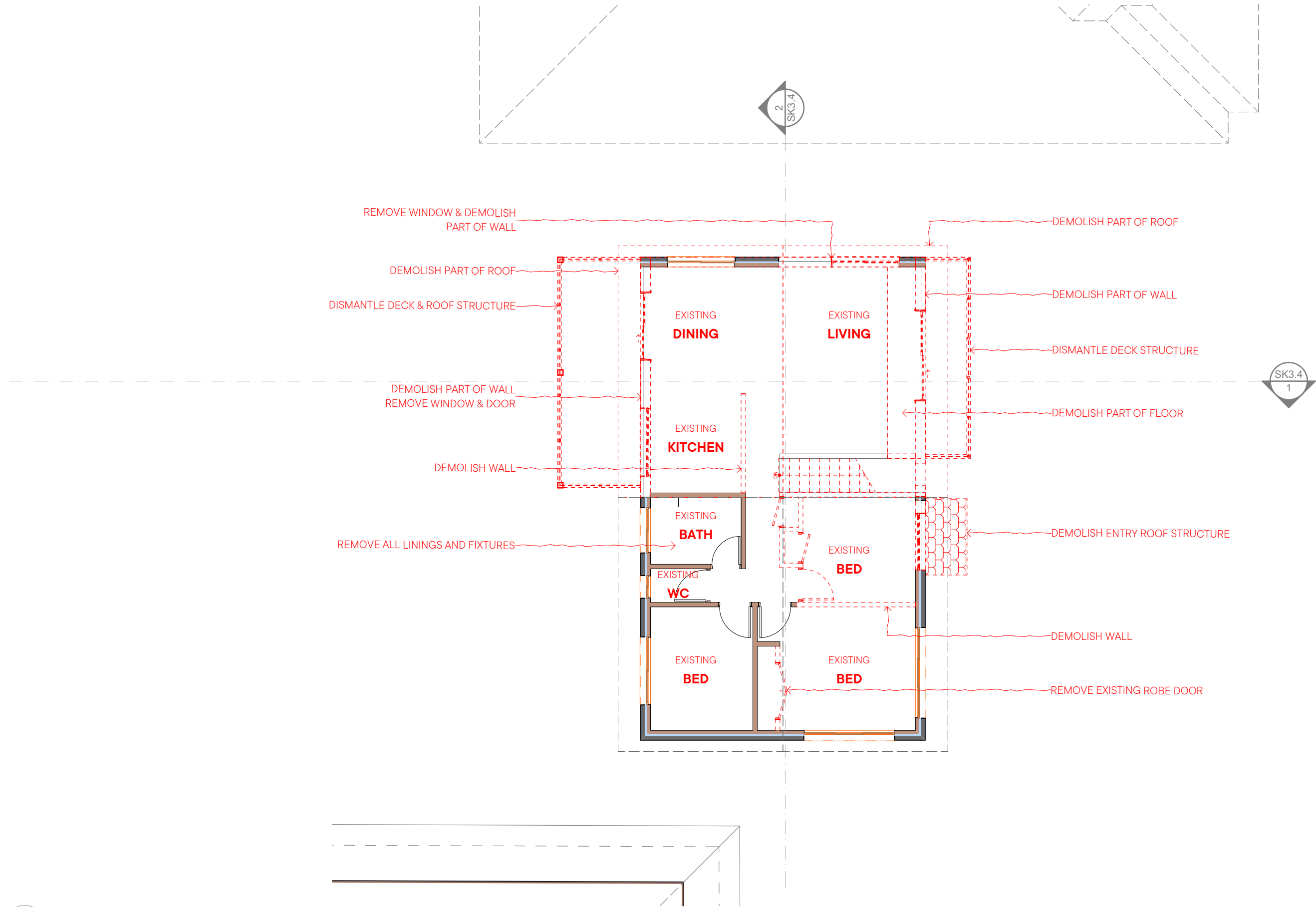
site: Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

drawing title :
GROUND FLOOR DEMOLITION PLAN

project :
Marine Drive House

rev no.
DA

drawing no.
DA2.4



1 FIRST FLOOR DEMOLITION PLAN
1:100

notes
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project partners
structural engineer: TBC

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ABN 73947 675 745

drawn by:
issue date: 28/04/2025
project no: 23007
project status: Development Application

client: Richard Payne & Rachel Chapman

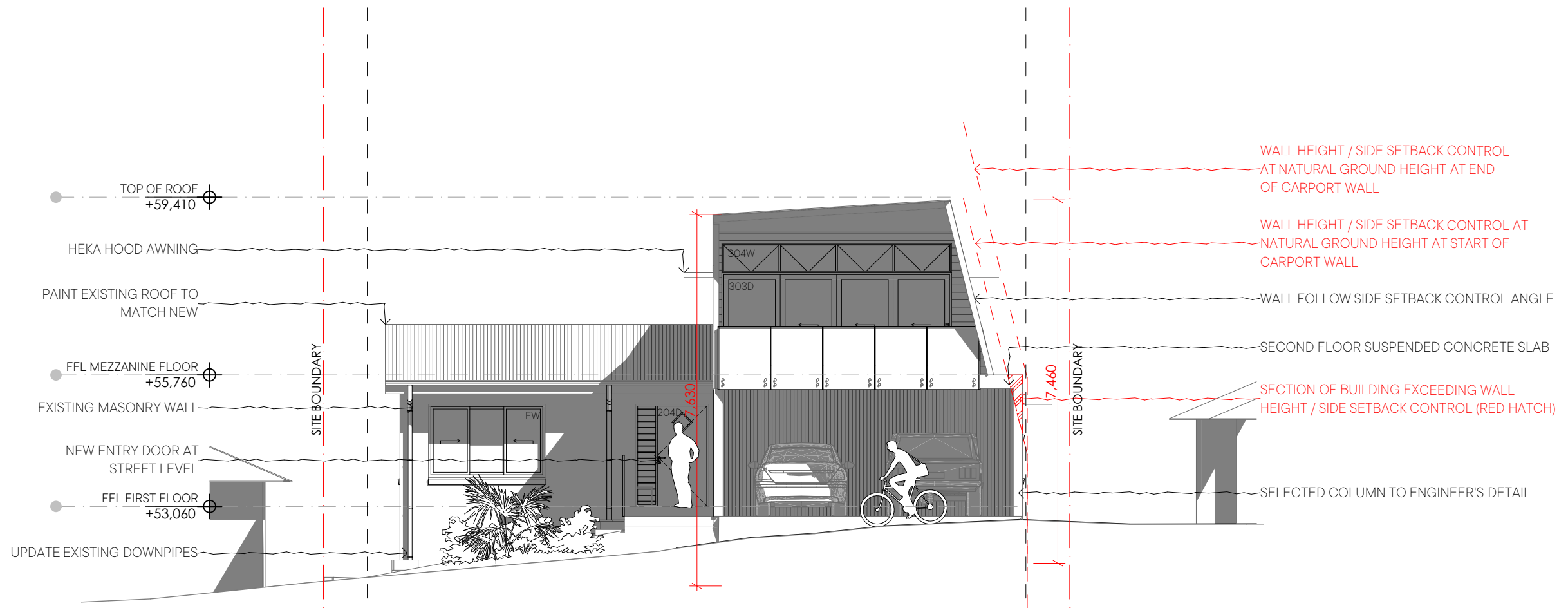
site: Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

drawing title :
FIRST FLOOR DEMOLITION PLAN

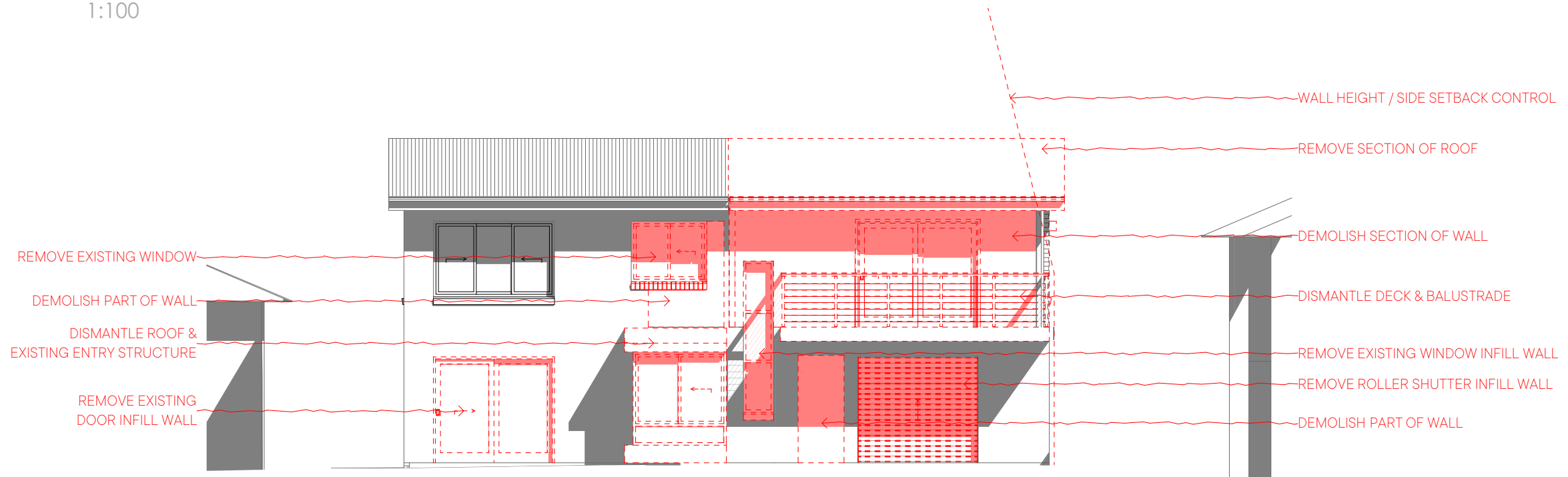
project :
Marine Drive House

rev no.
DA

drawing no.
DA2.5



1 NORTH ELEVATION
1:100



2 EXISTING NORTH ELEVATION
1:100

0 1 2 5m

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structural engineer: TBC

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drawn by:
issue date: PS 28/04/2025
project no: 23007
project status: Development Application

client: Richard Payne & Rachel Chapman

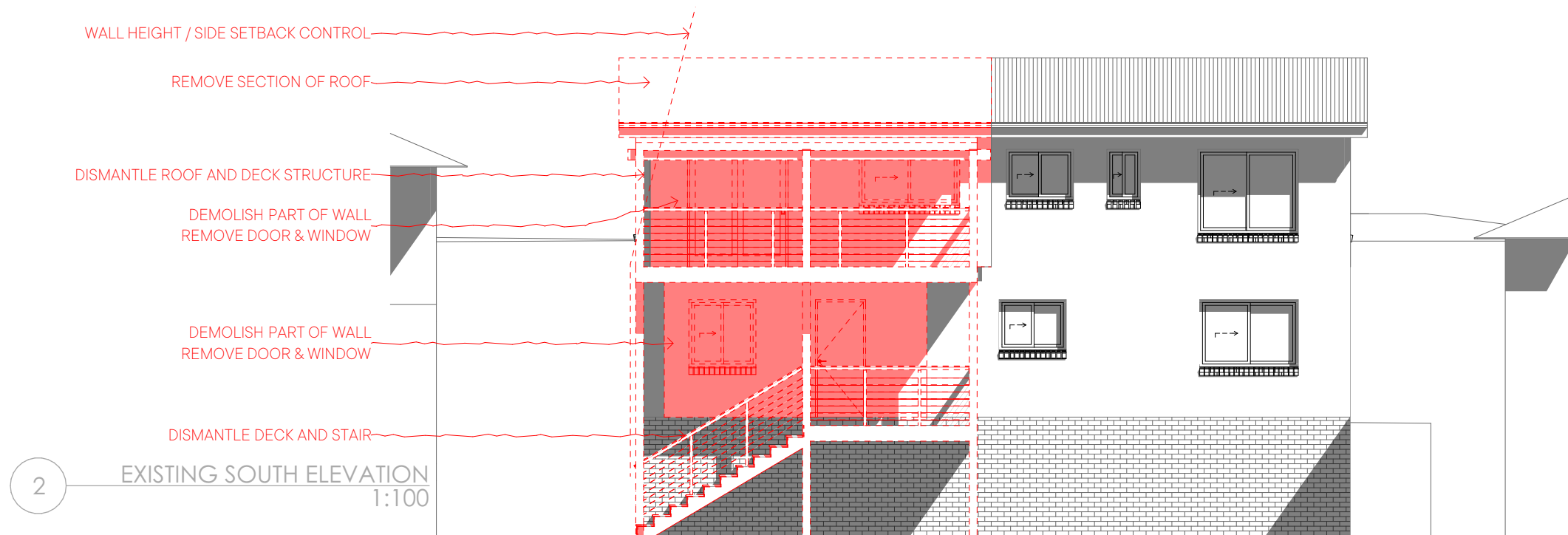
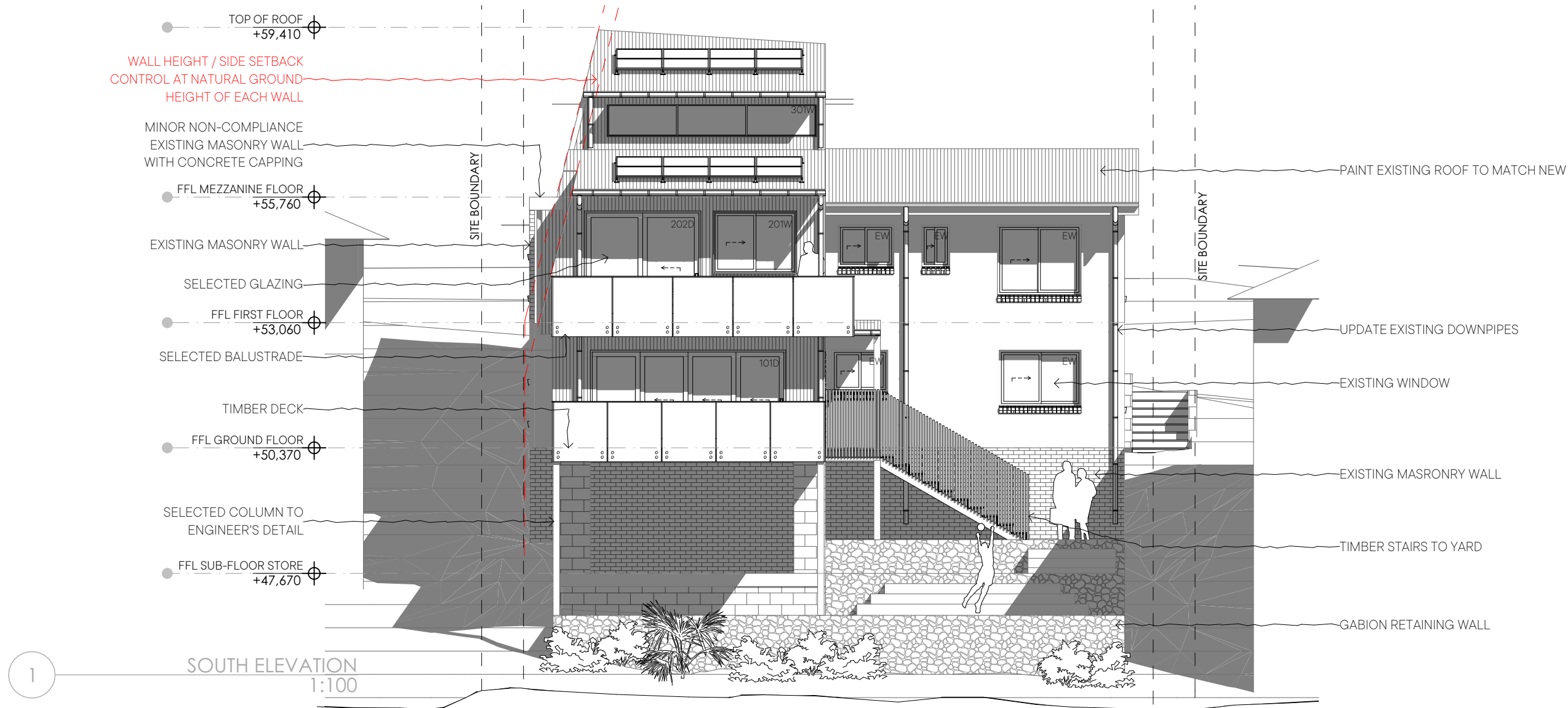
site: Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

drawing title :
NORTH ELEVATION

project :
Marine Drive House

rev no.
DA

drawing no.
DA3.1



notes
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structural engineer: TBC
surveyor:
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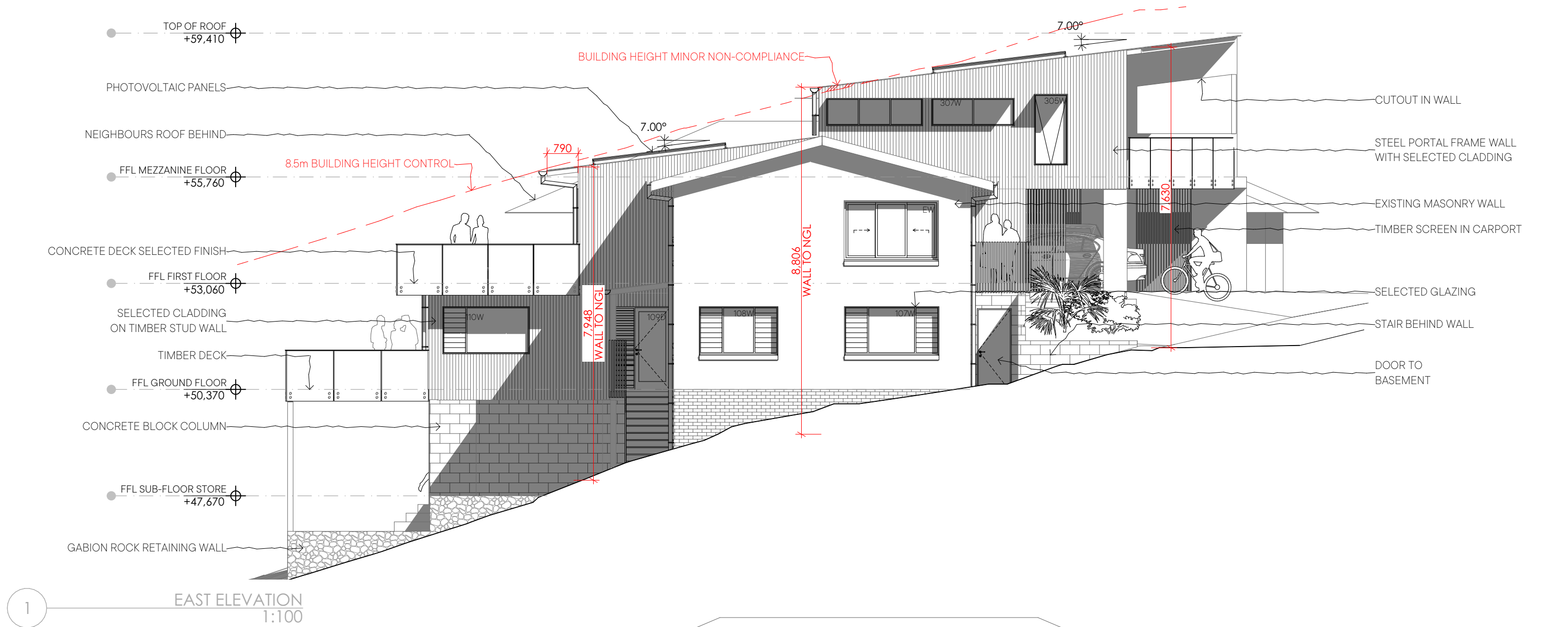
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drawn by: PS
issue date: 28/04/2025
project no: 23007
project status: Development Application
client: Richard Payne & Rachel Chapman
site: Lot 29 DP17220
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Forster NSW 2428

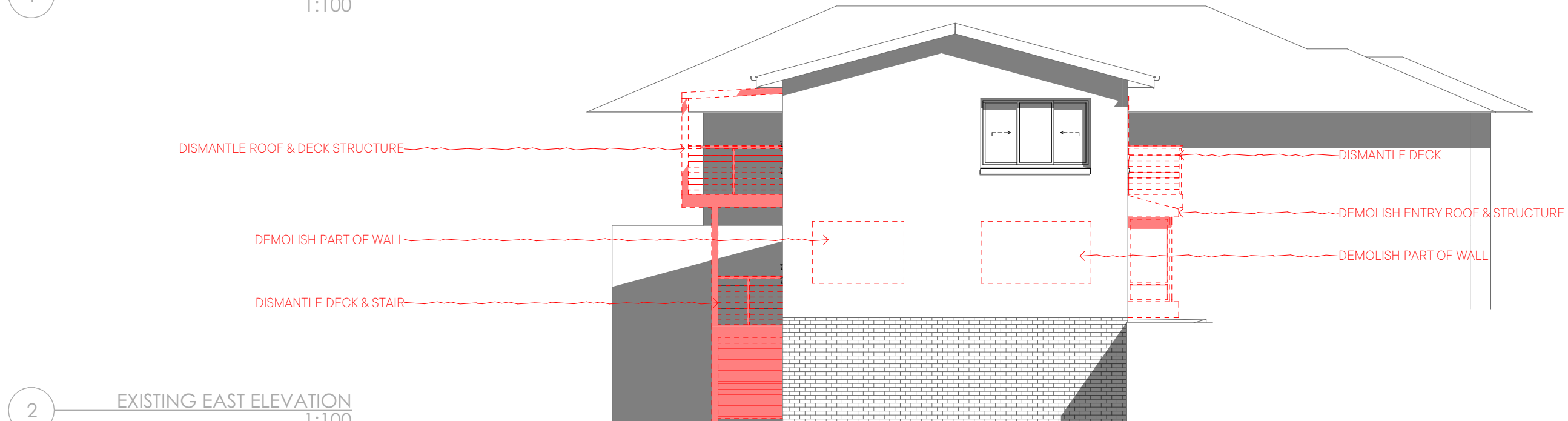
drawing title :
SOUTH ELEVATION
project :
Marine Drive House

0 1 2 5m

rev no.
DA
drawing no.
DA3.2



1 EAST ELEVATION
1:100



2 EXISTING EAST ELEVATION
1:100

notes
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drawn by: PS
issue date: 28/04/2025
project no: 23007
project status: Development Application

client: Richard Payne & Rachel Chapman

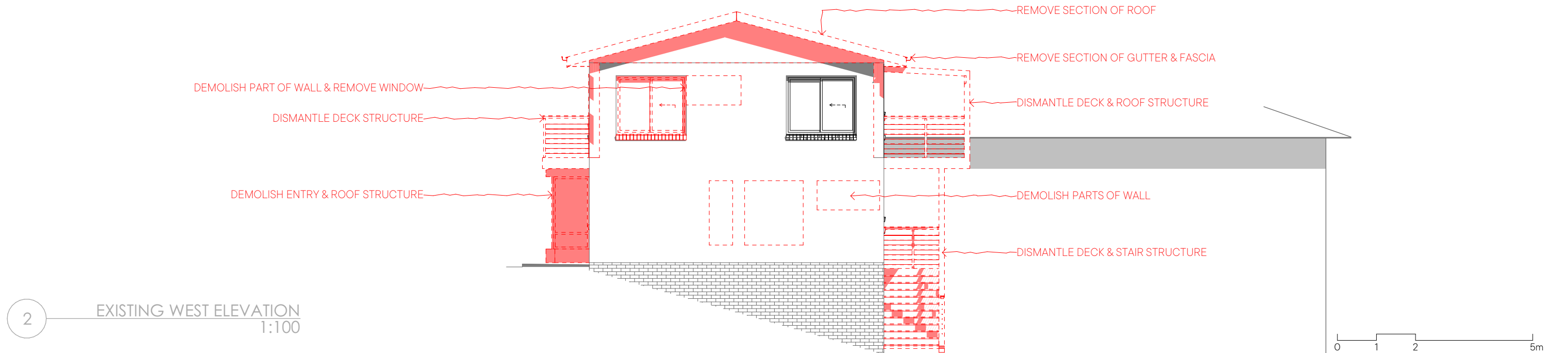
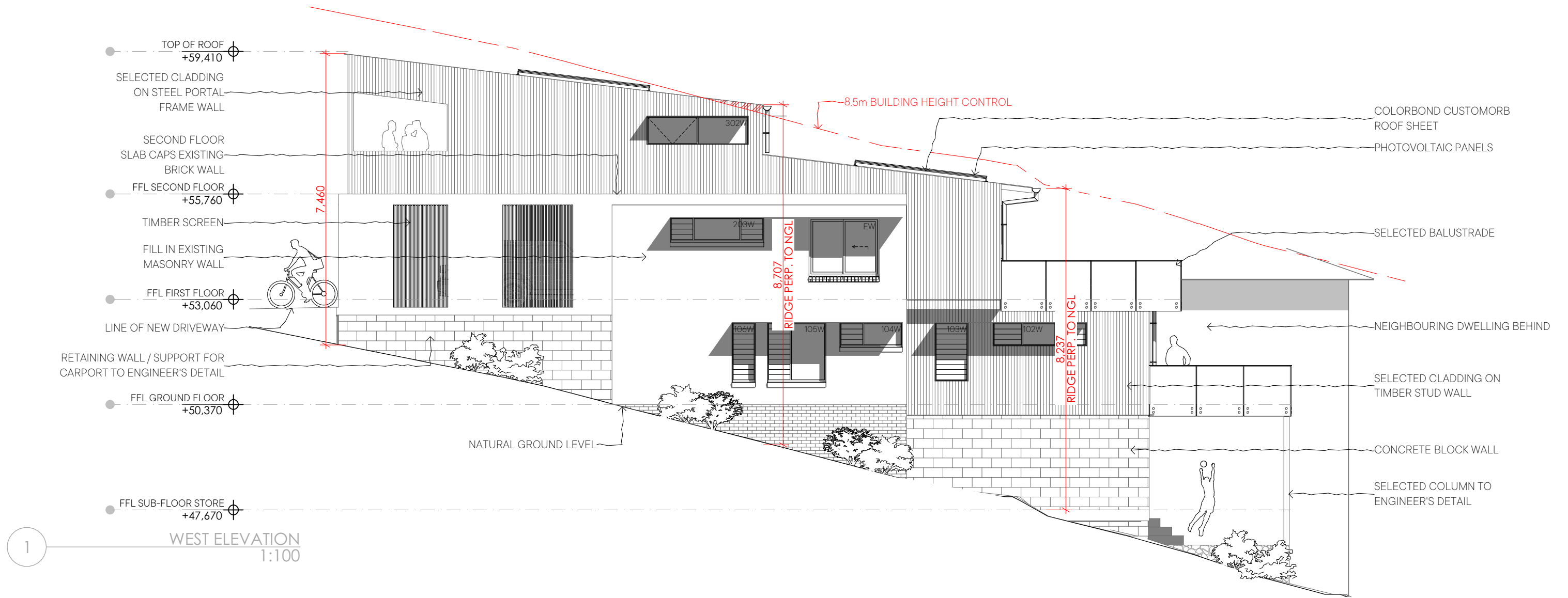
site: Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

drawing title:
EAST ELEVATION

project:
Marine Drive House

rev no:
DA

drawing no:
DA3.3



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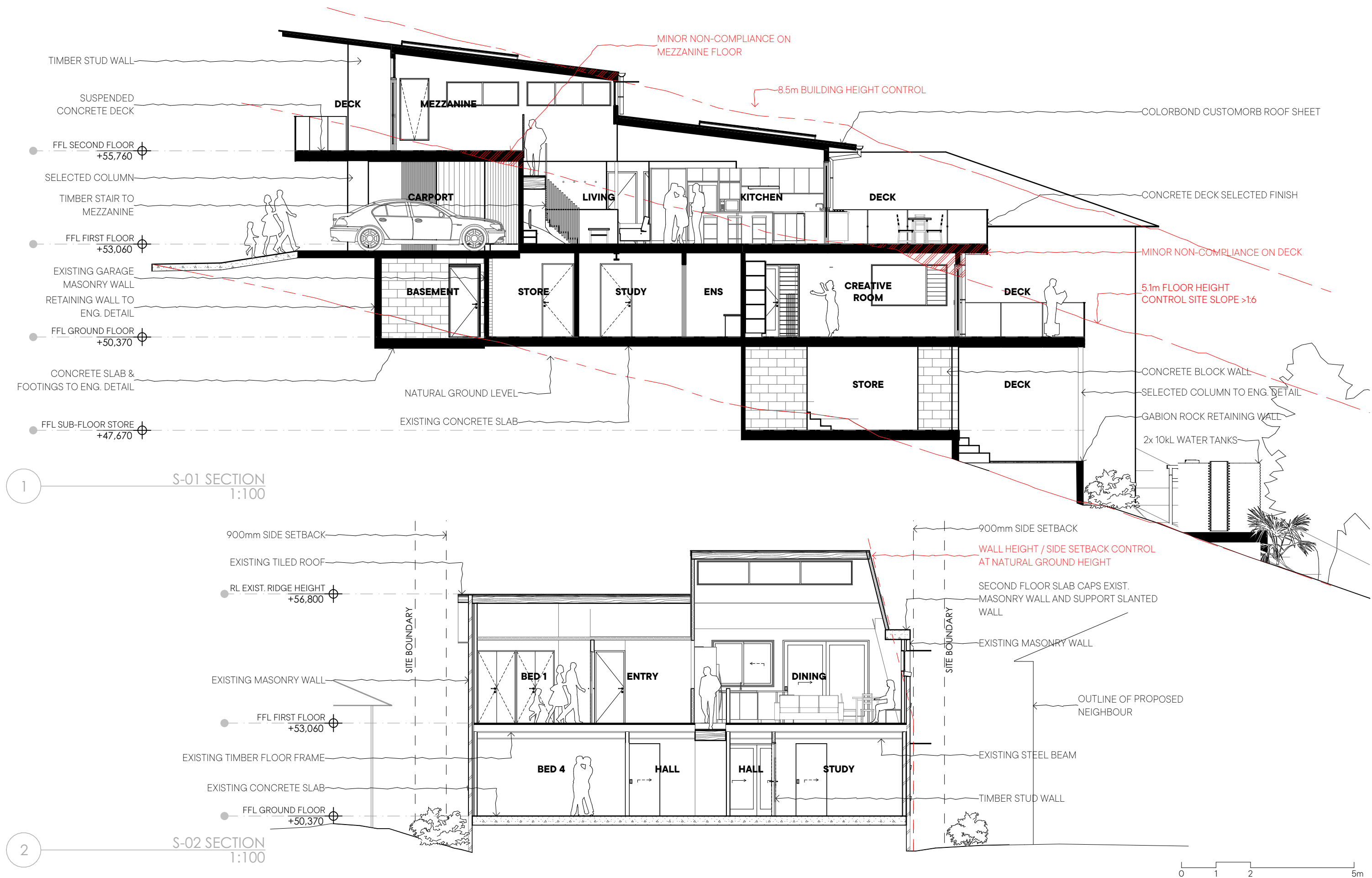
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structural engineer: TBC
surveyor:
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drawn by: PS
issue date: 28/04/2025
project no: 23007
project status: Development Application
client: Richard Payne & Rachel Chapman
site: Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

drawing title :
WEST ELEVATION
project :
Marine Drive House

rev no.
DA
drawing no.
DA3.4



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drawn by:
issue date:
project no:
project status:

client:
site:

PS
28/04/2025
23007
Development Application

Richard Payne & Rachel Chapman
Lot 29 DP17220
2 Marine Drive
Forster NSW 2428

drawing title:
SECTIONS

project:
Marine Drive House

rev no.
DA

drawing no.
DA4.1